

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-12**

**APPROVAL OF A DESIGN REVIEW PERMIT AND A RECOMMENDATION OF APPROVAL
FOR AN ENCROACHMENT AGREEMENT TO FACILITATE AN INTERIOR AND EXTERIOR
RESIDENTIAL REMODEL PARTIALLY WITHIN THE PUBLIC RIGHT-OF-WAY AT 416
RICHARDSON STREET
APN: 065-234-10
PROJECT ID: 2024-00215**

WHEREAS, an application has been filed by the owner, Lewis D. Barber, requesting approval of a Design Review Permit and Encroachment Agreement to facilitate an interior and exterior remodel of an existing nonconforming residence. Two unpermitted second floor additions on the west and north sides will be removed. Exterior stairs will be eliminated from the east elevation. The primary entry will be relocated to the south elevation, partially within the public right-of-way. A 6' tall wood fence, wraparound planters, and minor landscaping are also proposed at 416 Richardson Street (APN: 065-234-10) ("the Project"); and

WHEREAS, the project site is located within the General Plan Medium High Density Residential land use designation and the Two-Family Residential (R-2-2.5) zoning district; and

WHEREAS, the Planning Commission has reviewed a Design Review Permit and Encroachment Agreement for the proposed Project and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed Project; and

WHEREAS, the Planning Commission has reviewed and considered the Project plans titled "Barber / Coles Residence Tenant Improvement" for 416 Richardson Street, Sausalito, CA 94965, received March 25, 2025; and

WHEREAS, the Planning Commission finds that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, the Planning Commission finds that the requisite findings for approval set forth in SMC Section 10.54.050 D and Section 10.56.060 can be made; and

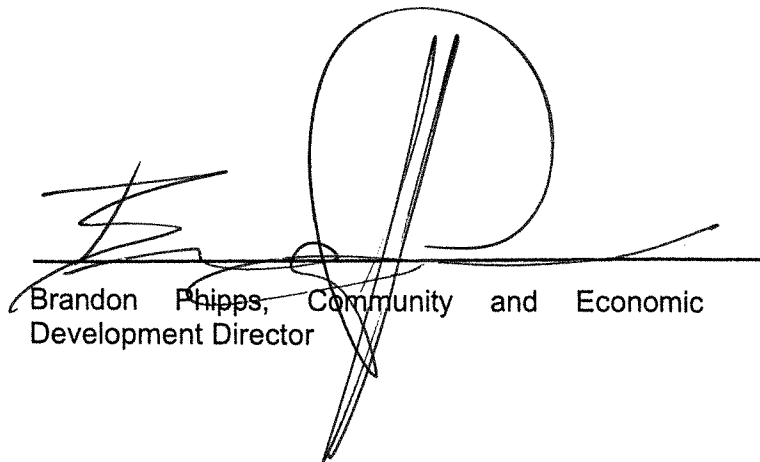
NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Planning Commission finds, in the exercise of its independent judgment, that the proposed project exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15301 (Existing Facilities) and section 15303 (Conversion of Small Structures), and that none of the exceptions to the use of a categorical exemption in CEQA Guidelines section 15300.2 applies to the proposed project.

2. The Design Review Permit to substantially remodel 416 Richardson Street (APN: 065-234-10) is approved based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans ""Barber / Coles Residence Tenant Improvement" for 416 Richardson Street, Sausalito, CA 94965, received March 25, 2025 (Attachment 3).
3. An Encroachment Agreement to allow an existing non-conforming structure to remain partially within the right-of-way and to install new entry steps and railing, planter boxes, and minor landscaping at 416 Richardson Street (APN: 065-234-10) is recommended for approval by the City Council based upon the attached findings (Attachment 1), subject to the attached conditions of approval (Attachment 2), and as shown in the project plans "Barber / Coles Residence Tenant Improvement" for 416 Richardson Street, Sausalito, CA 94965, received March 25, 2025 (Attachment 3).

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Sausalito Planning Commission on the 28th day of May 2025, by the following vote:

AYES: Commissioner: Saad, Junius, Moore
NOES: Commissioner: Marlatt
ABSENT: Commissioner:
ABSTAIN: Commissioner: Luxenberg



Brandon Phipps, Community and Economic
Development Director

ATTACHMENTS

- 1 Findings
- 2 Conditions of Approval
- 3 Project Plans

SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-12

May 28, 2025

416 Richardson Street

APN: 065-234-10

PROJECT ID: 2024-00215

ATTACHMENT 1: FINDINGS

Design Review Permit

To approve or conditionally approve the Design Review Permit, the Planning Commission must determine whether the proposed project is in conformance with the required Design Review Findings in SMC Section 10.54.050(D). Staff has concluded that the required findings can be made as follows:

1. The proposed project is consistent with the general plan, any applicable specific plans, any applicable design guidelines, and this chapter. (The adopted historic design guidelines can be found in the Community Development Department or the office of the City Clerk.)

The proposal is consistent with the general plan policy LU-1.17 which emphasizes the importance of maintaining the existing character of Sausalito neighborhoods by limiting the types of changes to non-conforming structures so that changes would not increase the degree of non-conforming conditions. The project proposes to reduce several of the existing nonconformities. The project also complies with general plan program HS-1.3.4 as the proposed new roofing material will be fire rated 'class A'. There are no specific plans or additional design guidelines applicable to this project.

2. The proposed architecture and site design complements the surrounding neighborhood and/or district by either:

- a. Maintaining the prevailing design character of the neighborhood and/or district; or***
- b. Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.***

The proposed remodel, repairs, and site design complement the surrounding Old Town/Hurricane Gulch neighborhood by maintaining the prevailing character of many Craftsman style homes of the same era, while upgrading the structure with contemporary, durable materials. The use of horizontal Hardi plank siding and poly-ash Boral trim reflects a clean, understated coastal aesthetic that is compatible with neighboring homes while removing deteriorated and non-original features that detract from the aesthetics. Additionally, the removal of unpermitted second-story additions and exterior stairs helps restore a more proportional and context-sensitive building mass, supporting visual continuity and architectural cohesion within the neighborhood..

3. The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The proposed remodel maintains the existing building envelope and does not include any increase in height or floor area, thereby preserving consistency with the general scale of structures in the R-2-2.5 zoning district. By removing unpermitted second-story additions and exterior stairs, the project actually reduces bulk and improves conformity with the established development pattern. The resulting structure will be appropriately scaled for the narrow, undersized lot and in keeping with neighboring residential properties in terms of height, massing, and lot coverage.

4. The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The proposed project does not include any expansion of the existing building envelope or increase in height, which ensures that no new view obstructions will be created. In fact, the removal of unpermitted second-story additions on the west and north sides of the house will reduce the overall building mass and potentially improve neighboring view corridors. As a result, the project has been carefully designed and sited to preserve both public and private views consistent with City policies.

5. The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The proposed project retains the existing height of the structure and does not introduce any vertical additions or modifications that would increase the building's profile. Since the property is located on a relatively modest slope and the structure does not project above any significant ridgelines, the remodel will not result in a prominent silhouette. Therefore, the project maintains a low visual impact in relation to the surrounding topography.

6. The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

The proposed landscaping includes the removal of an unsightly concrete apron at the front of the property and the installation of a new planting bed within the public right-of-way, consistent with the character of adjacent properties along Richardson Street. This addition will soften the transition between the sidewalk and the residence, enhancing the visual appeal of the property while contributing to a more attractive and cohesive streetscape for public enjoyment. The proposed plantings create a natural habitat for local species of birds, bees, butterflies and other pollinators while improving the bare edge of the existing driveway within the public right-of-way and offering a visual enhancement to the existing public bare land.

7. The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

No additional buildings are proposed through this application. The project maintains the existing building envelope and removes two unpermitted second-story additions, which

will improve access to light and air for both the project site and neighboring properties. By eliminating the exterior stairs and reducing overall massing, the design enhances openness and ensures that adjacent residences and the public realm continue to receive adequate natural light and ventilation.

8. Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise, and air quality impacts to adjacent properties and the general public.

The mechanical equipment will be updated and installed according to manufacturer's specifications and California building code requirements. There will be a small concrete pad in the middle of the rear yard ensuring minimal visibility and noise impact to surrounding properties. No new chimneys are proposed, and any exterior lighting will be downward facing and limited in scale, designed to avoid spillover to adjacent parcels or the public right-of-way. The project's upgrades are intended to modernize the property while remaining sensitive to neighborhood character and environmental quality.

9. The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window, deck and patio configurations.

The proposal provides a reasonable level of privacy to the site through thoughtful design and removal of unpermitted elements that may have previously impacted neighboring views or privacy. A new 6-foot wood fence is proposed along the north property line to provide privacy and separation from the nearby residence at 302 Fourth Street. New window placements are sensitive to adjacent properties, and the elimination of the exterior staircase on the east side reduces potential overlook, while the addition of landscaping at the south and west property lines further buffers the home from the public realm.

10. Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

The proposed project maintains appropriate circulation and traffic safety given its legal non-conforming status and the compact nature of the site. No on-site parking is required or proposed, consistent with the property's historic configuration and non-conforming designation. Access and internal circulation will be exclusively on foot, with a new pedestrian walkway and stairs from Richardson Street providing a clear and safe entry point to the home.

11. The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed design avoids the removal of any protected trees or significant natural features on the site. To enhance the rear yard, the existing shed and brick patio will be removed and replaced with sod, softening the outdoor space and contributing to site permeability. Construction activities have been designed to minimize site disturbance and environmental impacts. Best management practices for erosion and sediment control will be employed onsite to mitigate potential runoff or dust emissions.

12. *The project site is consistent with the guidelines for heightened review for projects which exceed 80 percent of the maximum allowed floor area ratio and/or site coverage, as specified in subsection E of this section (Heightened Review Findings).*

The project requires heightened design review due to its legal non-conforming status, which exceeds the maximum allowed floor area ratio and site coverage for the R-2-2.5 zoning district. The project complies with the heightened review guidelines by proposing a renovation that reduces the existing floor area ratio through the removal of unpermitted second-story additions, rather than expanding the structure. Despite the home's legal non-conforming status and a substandard lot size, the project stays within the existing building envelope and improves conformance by eliminating non-permitted elements.

13. *The project has been designed to ensure on-site structures do not crowd or overwhelm structures on neighboring properties. Design techniques to achieve this may include but are not limited to: stepping upper levels back from the first level, incorporating facade articulations and divisions (such as building wall offsets), and using varying rooflines.*

Although the subject property is a substandard-sized lot, the project has been carefully designed to avoid crowding or overwhelming neighboring structures. No expansion of the existing building footprint or height is proposed. The removal of unpermitted additions further reduces the overall massing. The project maintains the current scale and incorporates modest facade improvements that help break up the building form, preserving the existing spatial relationships within the neighborhood.

Heightened Design Review Findings

For residential projects that require a discretionary design review (either administrative design review or a design review permit) and exceed 80 percent of the permitted floor area ratio (FAR) and/or building coverage limitations, the decision-making body must determine whether or not the site can support maximum build-out, consistent with the following findings in SMC 10.54.050(E):

1. *Proposed development of the site maximizes preservation of protected trees.*

There are no trees proposed for removal as part of this project. As such, the proposed development does not result in loss of any protected vegetation and maintains compliance with tree preservation objectives in SMC Chapter 11.12.

2. *The site is configured with adequate width and depth to provide yard spaces and setbacks proportional to the size of the structure.*

Although the lot is severely substandard in size, the project reduces building coverage from 66% to 48.6%, thereby improving the proportion of open space relative to the structure. The resulting yard and setback areas are compliant given the constraints of the narrow lot and are consistent with development patterns in the neighborhood.

3. *The site will be developed in a manner that minimizes the obstruction of views from surrounding properties and public vantage points, with particular care taken to protect primary views.*

The project does not increase the existing building height or massing and instead removes unpermitted additions to reduce overall floor area and bulk. As a result, the development

maintains existing view corridors and does not introduce new visual obstructions to surrounding properties or the public realm.

4. The proposed development of the site presents no potential hazard to public safety in terms of vehicle traffic, pedestrian circulation, slope and tree stability, runoff, and public utilities.

The homesite is relatively flat and does not involve significant grading. There is no tree removal proposed. Pedestrian access is improved through the addition of code-compliant entry stairs and clear sidewalk access. No changes are proposed that would affect traffic or utility safety.

5. The slope and topography of the site allow for limited excavation and minimal alteration to the site topography outside the footprint of structures.

The project is located on a property with an average slope of 30% and does not require any grading or earthwork beyond minor adjustments around the existing footprint. The topographic changes will occur outside of structural areas in the former driveway area. Existing concrete will be removed to make way for landscaping and associate planters. Excavation will be minimal.

6. The site will provide adequate guest parking either on site or within the immediate street frontage.

Due to the small lot size, no on-site guest parking is feasible; however, the project maintains existing conditions without expanding residential occupancy or parking demand. No parking requirements are triggered as part of this project pursuant to SMC 10.62. Adequate on-street parking is available along Richardson Street, consistent with other homes in the area that also lack private driveways.

7. The proposed plan provides adequate landscaping to maximize privacy and minimize the appearance of bulk.

The project introduces a new planter area along the public frontages and reduces overall site coverage, allowing for more visible open space. These changes, along with the removal second story unpermitted additions on the west and north side, help soften the building's appearance and minimize perceived bulk, particularly from the street view.

Encroachment Agreement Findings

For projects proposing permanent or semi-permanent encroachments into the public right-of-way, the Planning Commission must determine that the application meets the findings outlined in SMC Section 10.56.060. Staff has concluded that the necessary findings can be made to support the recommendation to City Council for approval of the requested entitlement as follows:

A. The proposed encroachment is compatible with the surrounding area and will either improve or not significantly diminish visual or physical public enjoyment of the streetscape upon which the encroachment is proposed.

The proposed encroachments are modest in scale and thoughtfully integrated into the overall design of the project, ensuring compatibility with the surrounding residential streetscape. The new front entry steps and planting beds enhance the pedestrian

experience and contribute to the visual quality of the neighborhood. The retention of the existing permitted bay window and southern wall encroachments maintains the established character of the home as it was originally constructed. No public view will be obstructed, nor public access limited as part of this project. The encroachments consist of a modest entry stairway and planter area integrated into the public right-of-way. These elements are compatible with the residential character of Richardson Street and align with similar frontage improvements in the Old Town neighborhood. The proposed planters will contribute greenery and soften the street edge, enhancing the overall aesthetic without obstructing public views or passage. The visual and physical enjoyment of the streetscape will be maintained and unassumingly improved.

B. The encroachment will not adversely affect the usability or enjoyment of adjoining parcels nor create or extend an undesirable land use precedent.

The proposed encroachments, including the planter beds and entry steps, are minimal in size and have been designed to maintain adequate sidewalk width and pedestrian access. These improvements do not limit access or diminish usability for adjacent parcels and are consistent with existing patterns of development in the Old Town/Hurricane Gulch neighborhood. As such, they do not create or extend any undesirable land use precedent but instead reflect a site-specific response to the constraints of this historic and compact neighborhood. The proposed improvements are confined to the frontage of 416 Richardson Street and do not extend beyond the subject parcel's immediate public frontage. Adjacent parcels will retain full access and visibility, and their enjoyment will not be diminished. Furthermore, the encroachment responds to unique site conditions (existing structural misalignment and necessary entry access) and does not establish a precedent for inappropriate use of public space elsewhere.

C. The encroachment is necessary to the reasonable use and enjoyment of the property and the extent of the encroachment is justifiable.

The encroachments are necessary to facilitate safe and functional access to the residence, particularly given the steep grade and limited lot depth at 416 Richardson Street. The entry steps provide the only practical means of accessing the relocated front door, and the planter beds soften the transition between the public sidewalk and the home while reflecting the streetscape character. Given the small scale of the encroachments and the home's historic siting partially over the property line, the extent of the encroachment is reasonable and justifiable. Relocating the front entry to face Richardson Street requires a modest stairway to bridge the elevation difference between the sidewalk and the dwelling. Given the house was originally built approximately five inches into the public right-of-way, and site constraints limit other access solutions, the stair and planter area are necessary for practical and safe property use. The encroachment is minimal in scope and justified by both structural necessity and improved orientation.

D. The proposed encroachment will not adversely affect the public circulation nor create or constitute a hazard to public safety.

The proposed encroachments will not impede public circulation or compromise safety. The new entry steps and planters are designed to maintain a minimum unobstructed sidewalk width of 5 feet 4 inches, consistent with other portions of Richardson Street. The layout ensures that pedestrians can move safely and comfortably past the property, and no

changes are proposed that would obstruct visibility or access for vehicles or emergency services. The revised sidewalk configuration maintains a 5-foot 4-inch clear path of travel, which meets or exceeds accessibility standards and matches adjacent sidewalks on Richardson Street. The stairway and planter are set back from the active pedestrian path and do not obstruct line of sight, emergency access, or street furnishings. The proposed improvements are not anticipated to interfere with public circulation or safety.

E. The value of the proposed improvements will not prejudice a policy decision to terminate the encroachment nor preclude or make difficult the establishment or improvement of streets or pedestrian ways.

The applicant is aware that the improvements located within the right-of-way will be subject to removal should the City plan to expand streets or pedestrian ways along these portions of Fourth Street and Richardson Street. The portion of the project subject to encroachment is modest in scale and does not obstruct existing pathways or roadway configurations, allowing for future enhancements to the street as needed. Additionally, the encroachment maintains sufficient clearance from the road to enable any potential adjustments to public infrastructure without difficulty. Although the southern wall of the existing house extends approximately four inches into the public right-of-way and will remain in place, this condition reflects a longstanding structural encroachment that cannot be feasibly altered without demolishing or substantially reconstructing the residence. The proposed encroachments, a small stairway and planter areas within the sidewalk zone, are designed as surface-level elements that can be fully removed or modified without structural impact. They can be dismantled should the City need to update or reconfigure the right-of-way in the future. As such, the proposed encroachments do not impede potential future policy decisions regarding street widening, pedestrian enhancements, or utility upgrades, and do not limit the City's long-term ability to improve the public realm.

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-12
May 28, 2025
416 Richardson Street
APN: 065-234-10
PROJECT ID: 2024-00215**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions apply to the project at 416 Richardson Street depicted on plans prepared by Luis F. Vasquez, P.E., titled "Barber / Coles Residence Tenant Improvement", received March 25, 2025 (Attachment 3).

COMMUNITY DEVELOPMENT DEPARTMENT:

General Items:

1. Pursuant to Sausalito Municipal Code Section 10.50.120 (Implementation of Permits), it shall be the Applicant's responsibility to diligently proceed to carry out the Conditions of Approval and implement any approved permit(s). This shall include establishing the approved use/implementing the permit(s) within the time limits set forth by the applicable code. Extensions to approved permits may be sought pursuant to SMC 10.50.140.
2. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and the applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.
3. The project shall be designed and constructed as shown in the set of plans titled "Barber / Coles Residence Tenant Improvement", received March 25, 2025 (Attachment 3).
4. Pursuant to SMC 10.50.180.B, the Community Development Director is authorized to administratively approve minor modifications to the approved plans.
5. The Applicant/Property Owner shall defend, indemnify (including reimbursement of all attorneys' fees and costs incurred by the City), and hold harmless the City and its elected and appointed officials, officers, agents and employees, from and against any and all liability, loss, claim, damage, or expense (including without limitation attorneys' fees), which may arise out of or concern any City permit decision or approval related to the project, including without limitation, challenges to project approvals or permits under the California Environmental Quality Act, and any and all liability, loss, claim, damage, or expense (including without limitation attorneys' fees), which may arise out of Applicant's construction of the project.

6. In the event that any condition imposing a fee, exaction, dedication, or mitigation measure is challenged by the Applicant/Property Owner in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be subject to review by the City and substitute conditions may be imposed.
7. Prior to issuance of a building permit, the applicants shall reimburse the City for any unpaid costs associated with the project, including work done by City consultants.
8. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Lighting shall be designed to focus the light on to only the areas necessary to be illuminated and minimize overflow of lighting off-site.
9. At the time of building permit application, the applicant shall file a reasonable estimate of the value of the project, and based thereon, a construction time limit shall be established for the project in accordance with the criteria set forth in Sausalito Municipal Code Section 10.54.100. The applicant shall submit information reasonably requested by the Community Development Director to support the estimated value of the project. Such documentation may include without limitation an executed construction contract. The time for completion of the construction shall also be indicated on the construction permit.

DEPARTMENT OF PUBLIC WORKS:

General Items:

1. As part of the Building Permit application, all final Conditions of Approval shall be restated on the construction drawings and applicant shall thoroughly and accurately document in writing compliance with each Condition of Approval at the time of Building Permit application and any other subsequent submittals.

Right of Way Items:

2. An encroachment permit shall be obtained from the DPW prior to using the public right of way for any non-public purposes (e.g., material storage, construction, staging or demolition) including any and all construction and demolition activities. Since improvements (new stone pillar and portion of iron gate) are shown to be performed in the City right-of-way, an encroachment permit will be required. Information regarding encroachment permit submittal can be found here: <https://www.sausalito.gov/departments/publicworks/engineeringdivision/encroachment-permits>.
3. Applicant shall repair or replace, at no expense to the City, all damage to public facilities that results from Applicant's construction activities. Applicant shall have its contractor save and protect all existing facilities not designated for removal or modification within the public right of way.
4. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.

5. Applicant shall ensure that construction materials, equipment, vehicles, and properly-permitted debris boxes are not be placed in a manner that poses a traffic hazard, shall be placed to minimize obstruction of roads and gutters, shall be equipped with reflectors or lighting to ensure visibility at night and in inclement weather (if placed in the public right of way), shall be maintained in a clean and safe condition, and shall not be maintained in a manner that becomes a nuisance to the neighborhood. Debris boxes shall be emptied on a regular basis, or as directed by the City. Material stockpiles & debris boxes shall be covered when not being accessed or filled to prevent dust or liquid from being released to the environment. Construction materials, equipment, vehicles, and debris boxes shall be placed in the public right of way only after securing an encroachment permit.
6. Ensure best management practices (BMPs) are used during construction activity. This includes erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. An approval granted by the Engineering Division of the Department of Public Works does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
2. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any Building Permits, unless the requirement is waived pursuant to Section 8.54.050
3. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
4. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500-foot radius of residential zones shall only take place during the following hours:

Weekdays – Between 8:00 a.m. and 6:00 p.m.

Saturdays – Between 9:00 a.m. and 5:00 p.m.

Sundays – Prohibited

City holidays (not including Sundays) – Prohibited

Homeowners currently residing on the property and other legal residents may operate the equipment themselves on Sundays and City holidays between 9:00 a.m. and 6:00 p.m.

5. Pursuant to City of Sausalito Resolution 5116, roadway and subdivision improvements shall comply with the Uniform Construction Standards All Cities and County of Marin, as may be modified by the City Engineer.
6. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards," available online at: <http://www.marincounty.org/depts/pw/divisions/land-use/ucs>.
7. Any mechanical equipment installed in connection with this project shall be subject to Sausalito Municipal Code Section 12.16.130 - Machinery, equipment, fans and air conditioning.
8. Applicant is advised of the duty to comply with Municipal Code 17.36.020 Duty of property owner to repair and maintain sidewalk:
As set forth in California Streets and Highways Code Section 5610, the owner of real property adjacent to or fronting on any portion of a sidewalk area shall repair and maintain such sidewalk area in a safe and nondangerous condition at the owner's cost and expense. The owner shall have the primary and exclusive duty to perform such repair and maintenance, whether or not the City has notified the owner of the need for such repair or maintenance or has performed similar maintenance or repairs in the past. The duty to repair shall include the repair of damage caused by any force(s) including, without limitation, damaged caused by trees planted within the public right-of-way or adjacent private property. Notwithstanding the foregoing, if the owner believes that damage to the sidewalk area has been caused by a tree planted by the City, the owner shall so notify the City Engineer in writing and in the event that the City Engineer, or his designee, determines that all or a portion of the damage to the sidewalk area was caused by a tree planted by the City, the City shall repair the damage to the sidewalk area caused solely by the City planted tree; provided, however, that the City's repair of such damage does not alter or affect the provisions of SMC 17.36.030. Sidewalk areas with a vertical displacement greater than one-half inch between the edges of cracks and walks with rough nonuniform exposed aggregate surfaces are examples of walks that are considered out of compliance and in need of repair. Maintenance and repair of sidewalk areas shall include, but not be limited to, maintenance and repair of surfaces including grinding, replacement of sidewalk, repair and maintenance of curbs and gutters which are an integral part of the sidewalk, removal of weeds and/or debris, tree root pruning and installing root barriers, trimming of shrubs and/or ground cover.

SOUTHERN MARIN FIRE DISTRICT:

1. The design professional is responsible for verifying that the project complies with the regulations of CA Title 24 requirements, as well as local, state, and national standards and codes adopted by the AHJ.

FIRE PROTECTION SYSTEMS:

1. The current scope of work appears to be in excess of 50% of the existing structure and is being considered a substantial remodel as defined in Southern Marin Fire District Ordinance 2022/2023-01 and shall require the installation of a fire sprinkler system throughout the structure. However, if further review or change in scope reveals that the project is less than 50% of the existing structure, then the project will be re-evaluated.

A fire sprinkler system shall be provided for the following:

a. If the combination of the addition, alteration or remodeling exceeds 50% of the floor area of the existing structure, the project is considered a "substantial remodel".

b. For any change of occupancy or use, when the proposed new occupancy classification is more hazardous based on a fire and life safety evaluation by the Fire Code Official, including but not limited to conversion of buildings to single family residences, accessory dwelling units, bed and breakfast, inns, lodging houses or congregate residences or other similar uses, an automatic sprinkler system shall be installed throughout.

Fire sprinkler coverage shall be provided through the entire structure according to Chapter 9 of the California Fire Code. Fire sprinkler system shall be installed according to NFPA standards and Southern Marin Fire Standard 401.

ACCESS AND EGRESS:

1. Fire District and City personnel shall be granted access to private driveways and private roadways in order to enforce applicable ordinances related to fire codes, municipal and penal codes pertaining to maintaining road access for emergency vehicles.

2. Fire access to the project as well as the other surrounding properties shall be maintained at all times. Unapproved restrictions in roadway access shall result in citations and vehicles being towed at the owner's expense.

3. Fire vehicle access shall be provided. The road shall extend to within 150 feet of all portions of the building.

4. A vertical overhead clearance of 13' 6" shall be maintained free of obstructions above any roadbed (trees, brush, etc.).

VEGETATION AND FUEL MANAGEMENT:

1. The property owner shall comply with California Fire Code Section 304.1.2 and Local Ordinance Section 112.4.2 Abatement of Clearance of Flammable Brush or Flammable Vegetative Growth from Structures.

a. A minimum clearance of 30 feet from the structure or to the property line, 10 feet from roads and property lines and any tree which extends within 10 feet of any chimney or stovepipe shall be kept clear of flammable brush, tree limbs and grasses.

b. Exception: Vegetation Management Plan for the property has been submitted and approved by the Fire Code Official.

PREMISE IDENTIFICATION:

1. The address shall be posted in accordance with requirements of the California Fire Code and SMFD standard 205 (Premises Identification).

**SAUSALITO PLANNING COMMISSION
RESOLUTION NO. 2025-12**

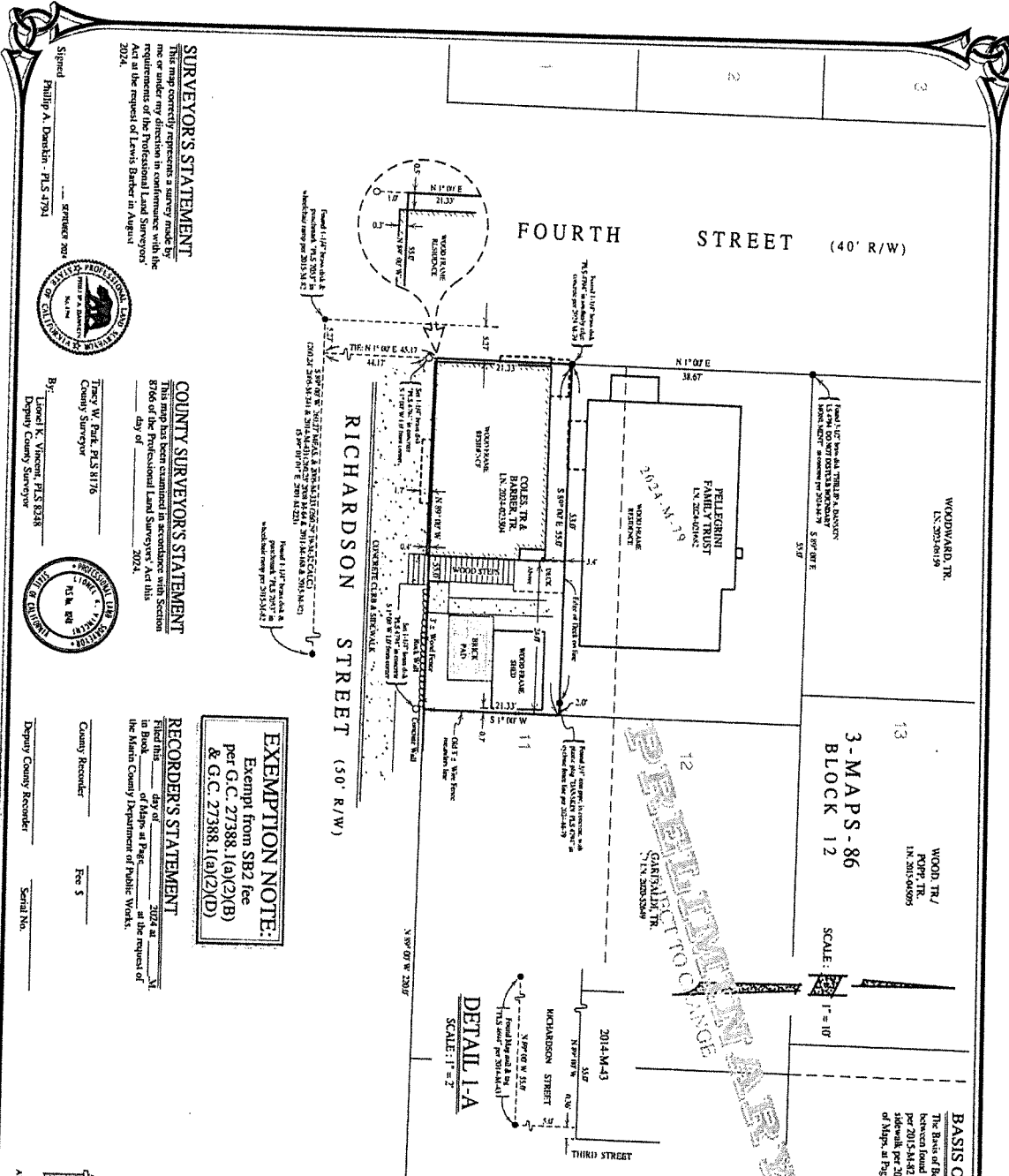
May 28, 2025

416 Richardson Street

APN: 065-234-10

PROJECT ID: 2024-00215

ATTACHMENT 3: PROJECT PLANS



BASIS OF BEARINGS
The Basis of Bearings of this survey is N 1° 52' 29" E 345.24' MEAS. (345.21' 2011 M. 108 CAL.C.) between found 1-1/4" rebar stake, T-15 7033" set within the unexcavated corner of whether ramp per 2015-M-42 and found Meg nail & washer T-15DA CARBUTHERS PLS 7033" in concrete sidewalk per 2011-M-104 as shown upon Sheet Two. Being the same as shown upon Book 2024 of Maps, at Page 79, Marin County Records.

LEGEND

- Donors set 3/4" ID, galvanized iron pipe with plastic plug, DANKSKIN PLS-4799, unless noted otherwise.
- Donors found instrument as noted.
- CALC. Donors calculated.
- LN. Donors Official Record Instrument Number, Marin County Records.
- MEAS. Donors measured.
- 46. Donors Book of Maps, Marin County Records.
- 48. Donors Official Records, Marin County Records.

NOTES

- All dimensions shown are in feet and decimals thereof, save measurement dimensions, being in inches.
- The purpose of this Record of Survey is to comply with Section 87062 of the Business and Professions Code (Land Surveyors' Act).
- Encumbrances, recorded or otherwise, not in scope of service.
- No attempt has been made as part of this survey to locate and/or show existence of all lines and/or the subject property. Only selected improvements are shown.
- All maps and deeds referenced on this survey use identical corners as those shown herein, except those shown in parentheses.
- DATE OF SURVEY: 6 August 2024

RECORD OF SURVEY

OF LANDS CONVEYED TO
REBECCA D. COLES, AS TRUSTEE OF
THE REBECCA D. COLES TRUST DATED FEB. 6, 2018
AND LEWIS D. BARBER, AS TRUSTEE OF
THE LEWIS D. BARBER TRUST DATED JUNE 1, 2017
AS DESCRIBED IN
OFFICIAL RECORDS INSTRUMENT NO. 2024-023504
BEING A PORTION OF
LOT 11 IN BLOCK 12
"MAP NO. 3 OF THE PROPERTY OF THE
SAUSALITO BAY LAND CO."
RECORDED IN BOOK 3 OF MAPS, PAGE 86
MARIN COUNTY RECORDS
CITY OF SAUSALITO
MARIN COUNTY
AUGUST 2024

PREPARED BY
DANSKIN, SANFILLIPO & ASSOCIATES, INC.
SURVEY NO. 1244
AUGUST 2024

SHEET 1 OF 2

APN 065-23-10

RECORDERS STATEMENT
Filed this _____ day of _____, 2024, at _____
in Book _____ of Maps at Page _____
at the request of _____
the Marin County Department of Public Works.

County Recorder Fee \$ _____
Serial No. _____
Deputy County Recorder _____

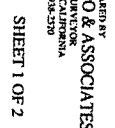
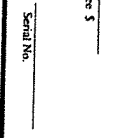
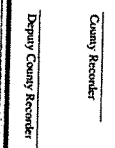
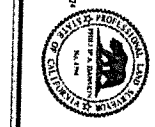
EXEMPTION NOTE:
Exempt from SB2 fee
per G.C. 27388.1(a)(2)(B)
& G.C. 27388.1(a)(2)(D)

COUNTY SURVEYOR'S STATEMENT
This map has been examined in accordance with Section
8706 of the Professional Land Surveyors' Act this _____
day of _____, 2024.

By: _____
County Surveyor
Deputy County Surveyor

SURVEYOR'S STATEMENT
This map correctly represents a survey made by
me or under my direction in compliance with the
requirements of the Professional Land Surveyors'
Act at the request of Lewis Barber in August
2024.

Signed _____
Phillip A. Dankin - PLS 4791



BARBER HOUSE REMODEL
416 RICHARDSON STREET
T. I. - SINGLE FAMILY HOUSE

DATE	REVISION
7/25/23	PLANNING DEPARTMENT 1
7/25/23	PLANNING DEPARTMENT 1

OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA

C-1

PARTITION NOTES

AUTHOR DISCLOSURES

EVERY DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY.

THEY ARE CLEARLY VISIBLE.

22 FEET HORIZONTAL DISTANCE TO ALL
ELEVATIONS OF THE BUILDING ON EACH FLOOR ALSO DURING
CONSTRUCTION.

IONS ARE NOT ADMISSIBLE WITHOUT AN OFFICER'S APPROVAL

ON OF TECHNOLOGY

OF THE WORK.

DOCUMENTS ARE INTENDED TO CONVEY THE DESIGN INTENT. NO DRAWING, NOTE, SPECIFICATION, ETC. SHALL BE INTERPRETED WITHOUT THE ASSISTANCE OF THE DESIGNER.

HUBER AND MASCHKE IN CONDO. THE TERM CONTRACTOR MEANS THE CONTRACTOR.

PRODUCTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL DETERMINE IF A PROPOSER'S SUBSTITUTION

OVER THE WORK, THE WORK OF THE MORE WORK, STRICTLY

ALL PROCEEDINGS SHALL BE CONSIDERED "PENDING" UNLESS NOTED OTHERWISE. NOTED PROCEEDINGS SHALL HAVE PRECEDENCE OVER ALL OTHERS.

RECEIVED

ORDER THE FAVORITE

THE ABOVE CONNECTION SHALL NOTIFY THE ARCHITECT, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS.

1.12 CONSULT RECOMMENDATION DOES HAVE THE SAME EFFECT

SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFOR.

IN THE EVENT OF A DISPUTE, THE CONTRACTOR SHALL SEE THAT...

FROM CONSTRUCTION DELAYATIONS OR CIRCUMSTANCES AS DESCRIBED IN
ON PLAN OR OF ANY APPARENT CONSTRUCTION CONFLICT

The CONTRACTOR shall be responsible to ensure that the CONTRACTOR'S WORK IS SECURE.

THE SINGLE HERE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPOUNDS ARE IN PLACE. THE CONTRASTING SHADINGS

ALL WORK SHALL BE DONE BY THE GENERAL CONTRACTOR.

23 All Duffinbury Post boxes are made from solid oak.

MUST BE FREE TO SWING WITHOUT OPERATION OF ANY LATCHING DEVICE. THE USE OF THIS DEVICES MAY

***** ON YOUR SIDE WITH AS FOR COOL

AT FLOOR LEVEL, FOR
FIRE-RESISTANT PARTITION, 1-1/2 HOURS

SHALL BE PROTECTED WITH A SMOKE OR CRAFT STOP FIRE RESISTING ONE-HOUR FIRE RESISTIVE COORDONATE

ALL STUDENTS TO BE ASSIGNED TO A CLASS MUST BE ASSIGNED TO A CLASS WITH ALL LOCAL SUBJECT CODES.

ADDITIONAL EXIT SCANS AND DUREDOLOGY LIGHTING MAY BE REQUIRED
BEFORE TO OBTAINING FINAL OFFICIARY BY THE CASE INVESTIGATION

GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT DRAWING IN

COVERED UP OR BUILT-IN. ALL PYSNG SHALL BE TESTED AND TESTED AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

1

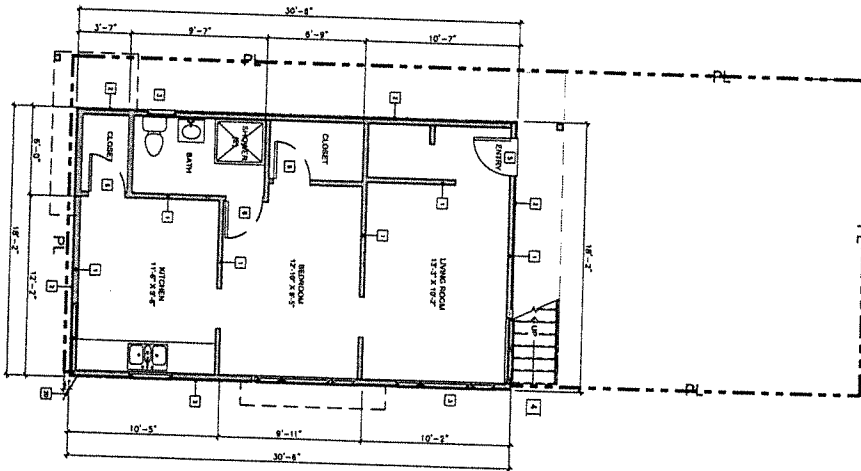
— CENTER LINE OF ELEMENT —

CR0 LINE ON COLLAR
CENTRELINE

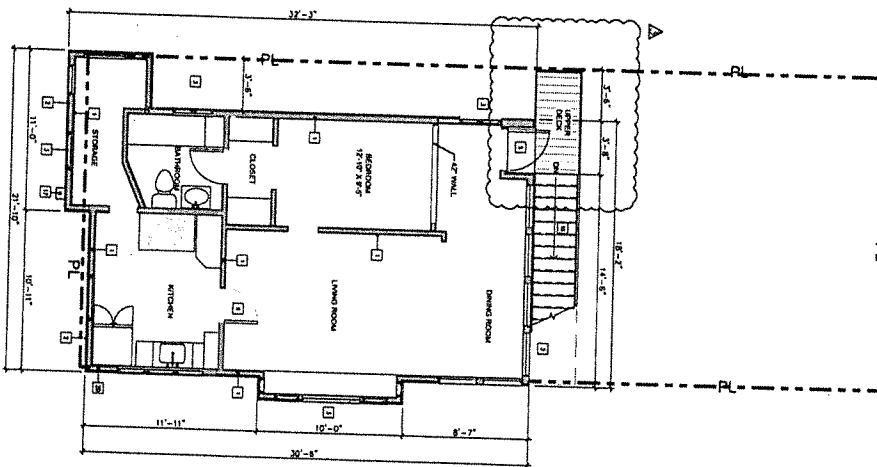
CONTINUOUS WOOD FINISHING

CLASS (ROOM OR HALL)

1
Scale: 1/4" = 1'-0"



2
Scale: 1/4" = 1'-0"



EXISTING FLOOR PLAN KEYED NOTES:

- 1 EXISTING 2 x 4 WOOD STUD WALLS AT 16" O.C.
- 2 EXISTING CEDAR SHING OVER 1/2" HORIZONTAL WOOD SLATS
- 3 EXISTING WOOD WINDOWS AND DOORS
- 4 EXISTING METAL GATE
- 5 EXISTING WOOD DOORS WITH BARS
- 6 EXISTING INTERIOR WOOD DOORS
- 7 NOT USED
- 8 EXISTING CEDAR ROOF SHINGLE ROOF
- 9 NOT USED
- 10 EXISTING WOOD STAIRCASE
- 11 EXISTING WOOD FENCE
- 12 EXISTING PLASTER AREA
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED
- 16 EXISTING WALL CONCRETE SLAB (TO BE DEMO)
- 17 EXISTING ELECTRICAL METER
- 18 EXISTING NATURAL GAS METER
- 19 EXISTING NATURAL WATER METER
- 20 EXISTING SEWER CONNECTION

DATE	REVISION
7/25/23	PLANNING DEPARTMENT 2
7/25/23	PLANNING DEPARTMENT 3

BARBER HOUSE REMODEL

416 RICHARDSON STREET
T. L. SINGLE FAMILY HOUSE

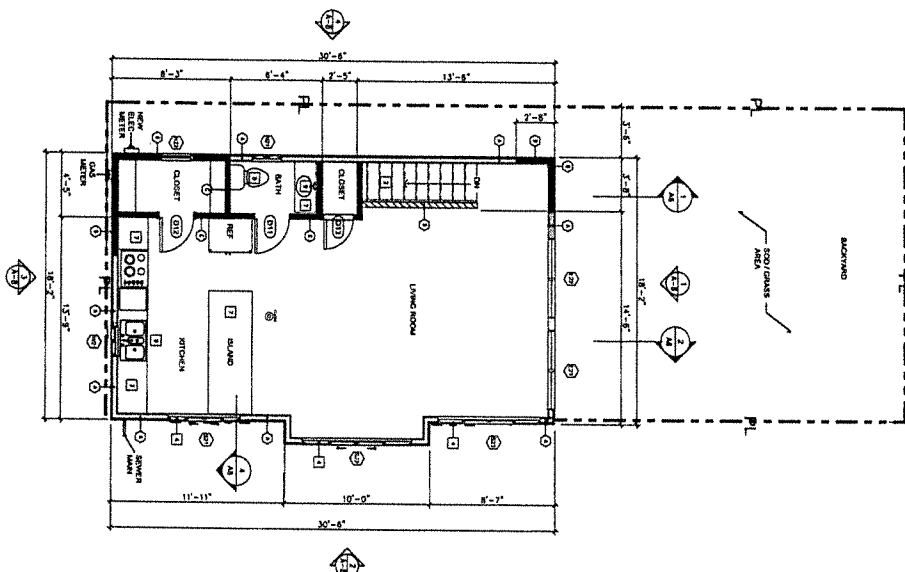
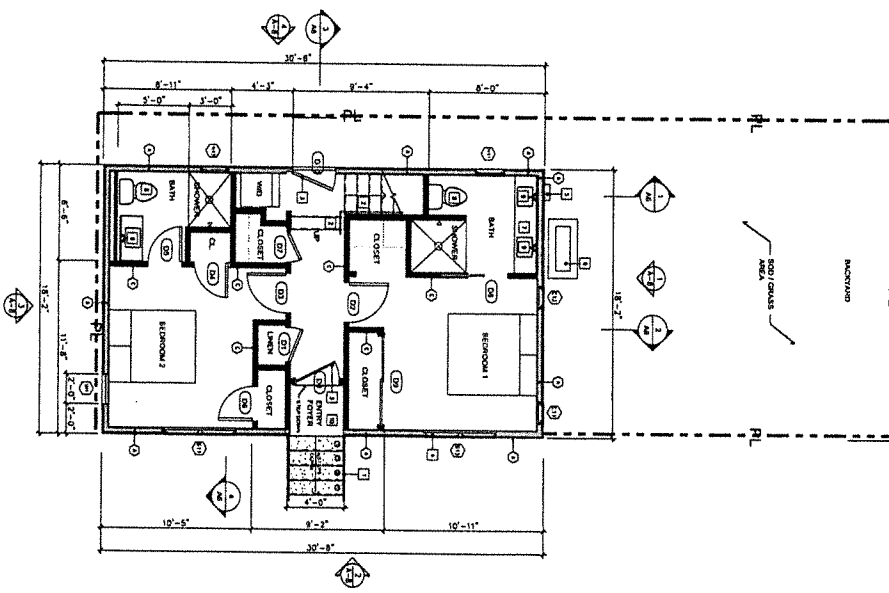
OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA



DATE	REVISION
7/25/23	PLANNING DEPARTMENT 2
7/25/23	PLANNING DEPARTMENT 3

1
1ST FLOOR PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"

2
2ND FLOOR PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"



FLOOR PLAN KEYED NOTES:

- NEW CONCRETE DRIVE SHAFTS WITH METAL GUARDRAILS
- NEW INTERIOR WOOD STAIRS
- NEW FIREGLASS EXTENDING DOORS
- NEW DUAL-PANE LOW-E FIREGLASS WINDOWS
- NEW EXTENSION MOUNTED FIREGLASS WINDOWS
- NEW WALK-OUT CONCRESSION
- NEW WALK-OUT WARDEN
- NEW TOILET
- NEW SINK
- NEW CONCRETE LANDING
- NEW PAINTED WARDROBE SPACE

NOTES

- ALL WALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS FOR INTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR EXTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR INTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR EXTERIOR WALLS ARE SHOWN TO FACE OF WALLS.

GENERAL ELECTRICAL LEGEND

- CONCRETE OUTLET BY C.C. @ 15' A.F.F.
- CONCRETE OUTLET BY C.C. @ 15' A.F.F.
- CONCRETE OUTLET BY C.C. @ 15' A.F.F.
- CONCRETE OUTLET BY C.C. @ 15' A.F.F.
- CONCRETE OUTLET BY C.C. @ 15' A.F.F.

FLOOR PLAN GENERAL NOTES:

- ALL WALL DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS FOR INTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR EXTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR INTERIOR WALLS ARE SHOWN TO FACE OF WALLS.
- ALL DIMENSIONS FOR EXTERIOR WALLS ARE SHOWN TO FACE OF WALLS.

WALL TYPES LEGEND:

- EXTERIOR WALL HEIGHT EXTERIOR WALL - (See Structural Notes)
- EXTERIOR WALL HEIGHT EXTERIOR WALL - (See Structural Notes)
- EXTERIOR WALL HEIGHT EXTERIOR WALL - (See Structural Notes)
- EXTERIOR WALL HEIGHT EXTERIOR WALL - (See Structural Notes)
- EXTERIOR WALL HEIGHT EXTERIOR WALL - (See Structural Notes)

CITY COMMENTS / NOTES

- ANY REVISIONS TO THE APPROVED PLAN SET SHALL BE SUBMITTED TO THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW. REVISIONS FOR THE REVIEWED WORK SHALL NOT BE REQUESTED UNTIL THE REVIEW IS APPROVED BY THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW. ALLOW A MINIMUM OF TWO WEEKS FOR COMPLETION OF THE REVIEW PROCESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE SAN DIEGO COUNTY DEVELOPMENT DEPARTMENT FOR REVIEW.

REVISIONS

- REVISION 1: 1/24/2011 City of San Diego - Review and Approval
- REVISION 2: 1/24/2011 City of San Diego - Review and Approval
- REVISION 3: 1/24/2011 City of San Diego - Review and Approval
- REVISION 4: 1/24/2011 City of San Diego - Review and Approval
- REVISION 5: 1/24/2011 City of San Diego - Review and Approval

BARBER HOUSE REMODEL

416 RICHARDSON STREET
T. I. - SINGLE FAMILY HOUSE

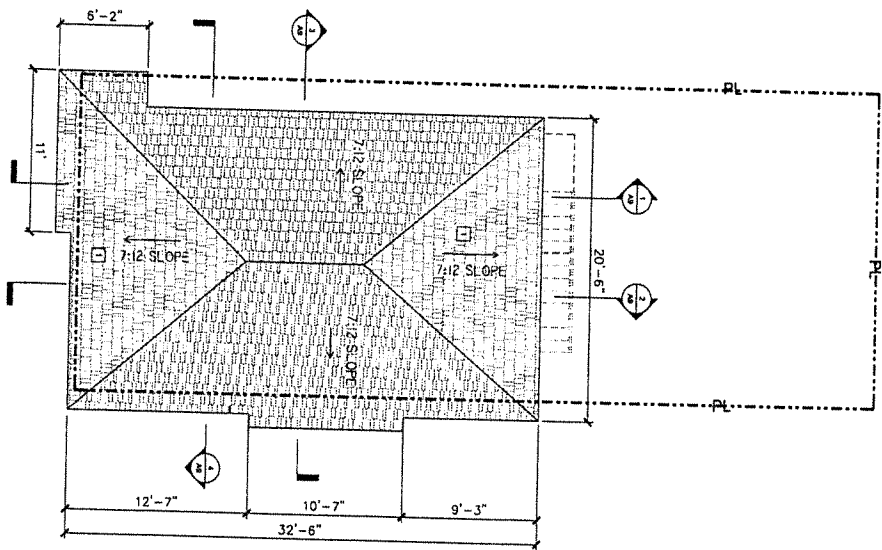
OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA
TEL: 415.000.1566

DATE	REVISION
1/25/2011	PLANNING DEPARTMENT
1/25/2011	PLANNING DEPARTMENT

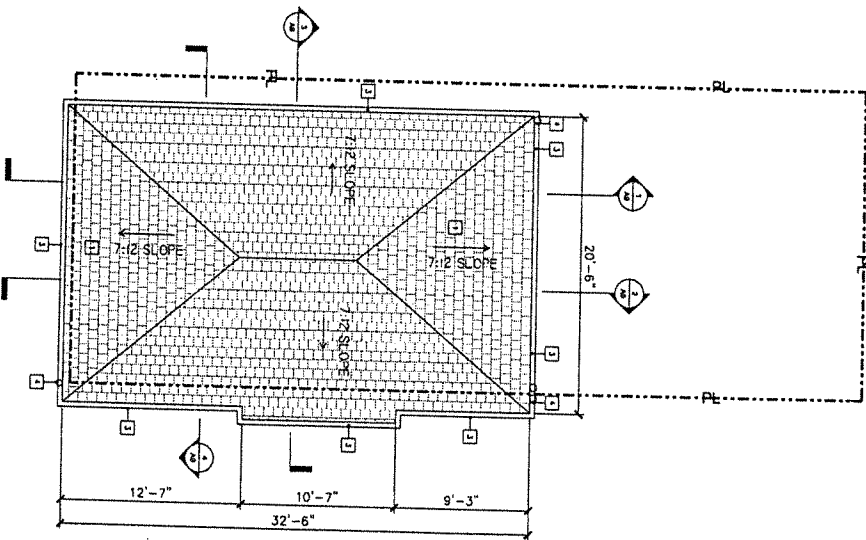


Proposed
Floor Plans

A-4



1 EXISTING ROOF PLAN
Scale 1/8" = 1'-0"



2 PROPOSED ROOF PLAN
Scale 1/8" = 1'-0"



ROOF KEYNOTES

- 1. JOIST: 2x10, 16" O.C.
- 2. INSULATION: 1" EPS
- 3. FLASHING: 30 MIN.
- 4. DRAINAGE: 1" DIA.
- 5. GUTTER: 6" DIA.
- 6. DOWNSPOUT: 4" DIA.
- 7. FLASHING: 30 MIN.
- 8. DRAINAGE: 1" DIA.
- 9. GUTTER: 6" DIA.
- 10. DOWNSPOUT: 4" DIA.

ROOF SYMBOL LEGEND

ROOF SYMBOL LEGEND
1. JOIST: 2x10, 16" O.C.
2. INSULATION: 1" EPS
3. FLASHING: 30 MIN.
4. DRAINAGE: 1" DIA.
5. GUTTER: 6" DIA.
6. DOWNSPOUT: 4" DIA.

ROOF COVERING SPECS

ASPHALT SHINGLE - SBS - AR
UL CLASS A FIRE RESISTANCE
UL CERTIFIED TO MEET ASTM D3462
UL CERTIFIED TO MEET ASTM 3018 TYPE 1
ASTM D3161, CLASS F
CONFORMS TO CSA STANDARD A123.5
NOTE: INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

BARBER HOUSE REMODEL

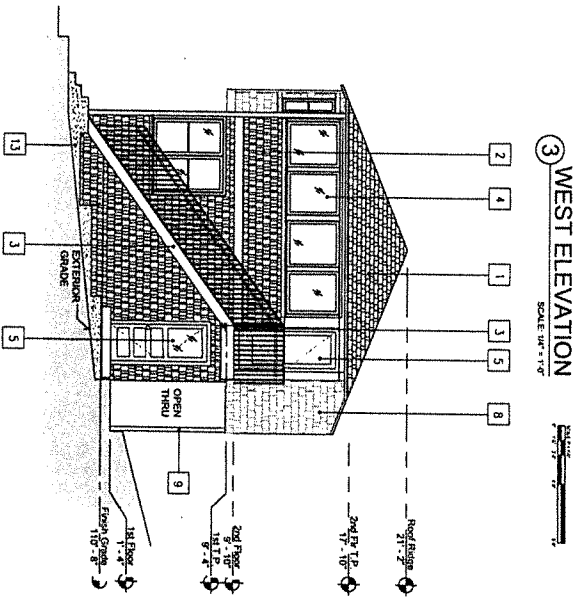
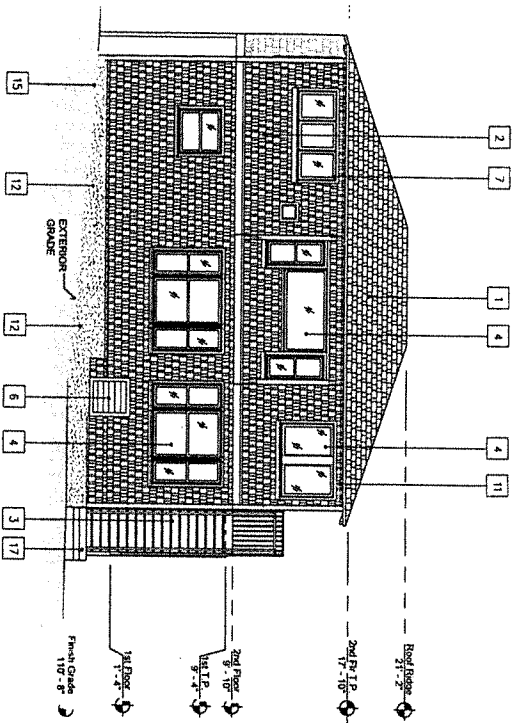
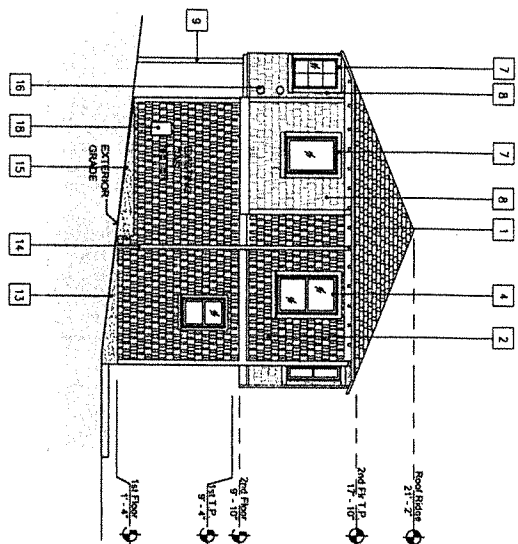
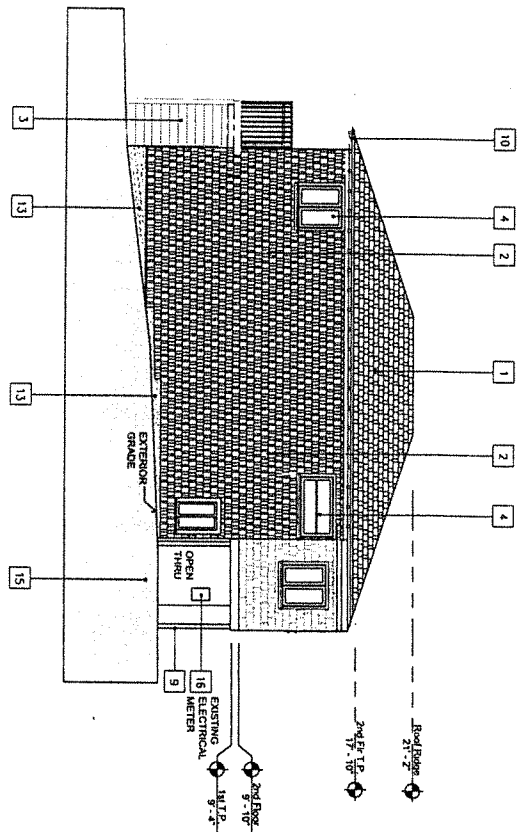
416 RICHARDSON STREET
T. I. - SINGLE FAMILY HOUSE

DATE	REVISION
7/25/23	PLANNING DEPARTMENT 1
7/25/23	PLANNING DEPARTMENT 2

OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA



PROJECT NAME: Barber House Remodel
SHEET NUMBER: A-4.1
SCALE: 1/8" = 1'-0"



DEMO KEY NOTES:

- | | |
|----|---|
| 1 | DEAD EXISTING ROOF SPANDREL |
| 2 | DEAD EXISTING ROOF TO THE LAWN |
| 3 | DEAD EXISTING CEILING WOOD SCANS |
| 4 | DEAD EXISTING EXTERIOR WOOD STAIRS |
| 5 | AND EXTERIOR UPPER LANDING |
| 6 | DEAD ALL EXISTING WOOD WINDOWS |
| 7 | DEAD EXISTING WOOD DOORS |
| 8 | DEAD WOOD ACCESS PANEL |
| 9 | DEAD ALL EXISTING WOOD TRIM |
| 10 | DEAD EXISTING AND FLOOR CANTILEVER |
| 11 | DEAD EXISTING POST |
| 12 | EXISTING PROJECTED ROOF EYE |
| 13 | EXISTING WOOD RAFTERS - PAINTED |
| 14 | REMOVE EXISTING CONCRETE ROOF DRAIN |
| 15 | AND EXISTING ROOF FLASHING DRAIN |
| 16 | EXISTING EXPOSED CONCRETE FOUNDATION |
| 17 | DEAD EXISTING CURTAINS AND DOWN SPOUTS |
| 18 | EXISTING EXTERIOR WATERS TO BE REPLACED (UNDER SEPARATE PERMIT) |
| 19 | EXISTING CONCRETE STAIRS |
| 20 | EXISTING GATE LETTERS |

DEMO NOTES:

- EXISTING BACK YARD STORAGE SHED TO BE REMOVED
EXISTING BACK YARD BRICK PATIO AT GROUND LEVEL
TO BE REMOVED AND REPLACED WITH SOO
PORTION OF CONCRETE AT SOUTH ELEVATION PLAN
TO BE REMOVED FOR NEW PLANTER (SEE SITE PLAN)

BARBER HOUSE REMODEL

416 RICHARDSON STREET
T. I. - SINGLE FAMILY HOUSE

DATE	REVISION	OWNER / BUILDER
2/25/25	PLANNING DEPARTMENT 2	LEWIS BARBER TRUST REBECCA COLES TRUST 418 RICHARDSON STREET SAUSALITO, CA
3/25/25	PLANNING DEPARTMENT 3	

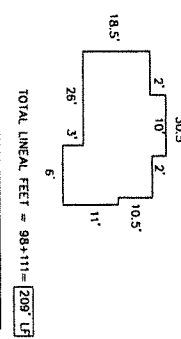


- Proposed
Elevations

416 RICHARDSON DEMO CALCS

FIRST FLOOR EXTERIOR LINEAR FEET
 $30.5' + 30.5' + 18.5' + 18.5' =$ 98 LF

SECOND FLOOR EXTERIOR LINEAR FEET
 $18.5' + 30.5' + 2' + 2' + 10.5' + 1.5' + 11' + 6' + 3' + 26' =$ 111 LF



DEMO FOR NEW WINDOWS + BUMP-OUT

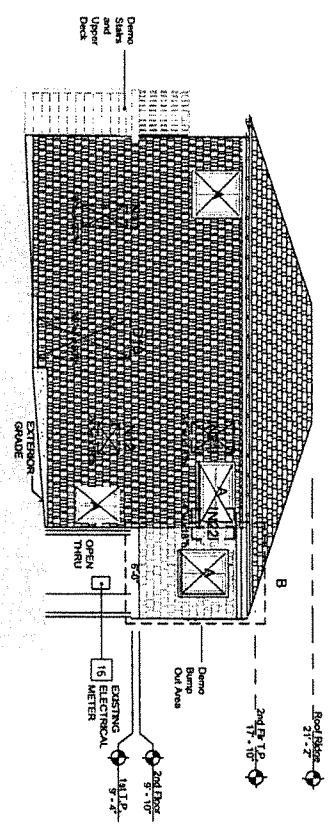
EAST	1.5 LF
WEST	0 LF
NORTH	10.5 LF
SOUTH	5 LF
BUMP OUT	21.5 LF
TOTAL	38.5 LF

38.5 LF = 18.4% PARTIAL DEMO

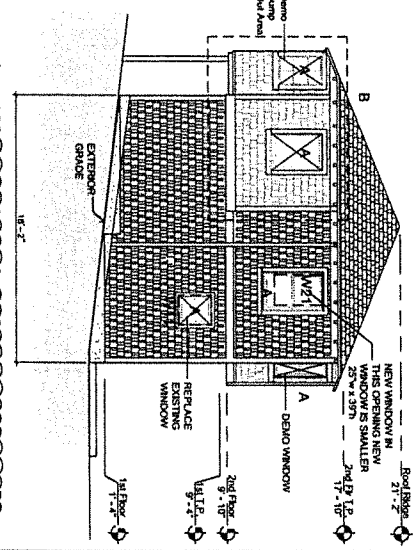
A - INFILL EXISTING WINDOWS AND DOORS
 B - REMOVE BUMP OUT

416 RICHARDSON DEMO NOTES

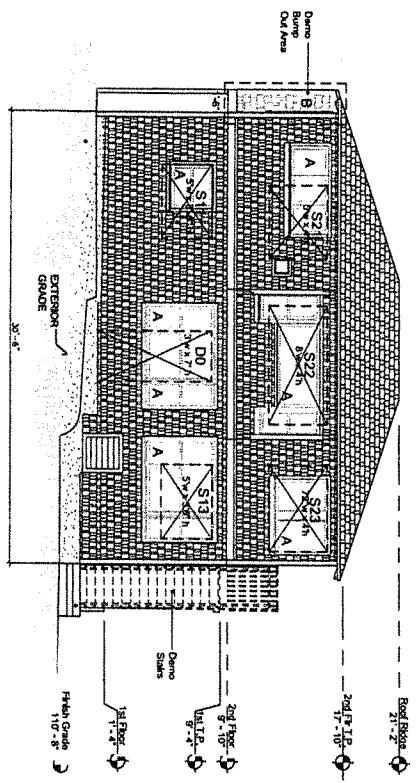
- INTERIOR - CUT INTERIOR FINISHES DOWN TO STUDS + SUBFLOOR + FRAME
- EXTERIOR - REMOVE WOOD SHINGLES FROM EXTERIOR WALLS
- THE ORIGINAL 1X6 HORIZONTAL SIDING UNDER THE SHINGLES TO REMAIN
- NEW SIDING TO GO OVER 1X6 HORIZONTAL SIDING
- REMOVE ASPHALT + WOOD SHINGLE ROOF DOWN TO LATH
- INSTALL 1/2" CDX PLYWOOD OVER LATH. INSTALL NEW ASPHALT SHINGLES
- REMOVE ALL EXTERIOR DOORS AND WINDOWS
- INSTALL NEW DOORS AND WINDOWS AS PER WINDOW AND DOOR SCHEDULE
- REMOVE EXTERIOR STAIRS
- REMOVE BUILDING BUMP OUTS ON THE NORTH + WEST SIDE OF THE HOUSE ON SECOND FLOOR
- REMOVE SHED AND BRICK PATIO



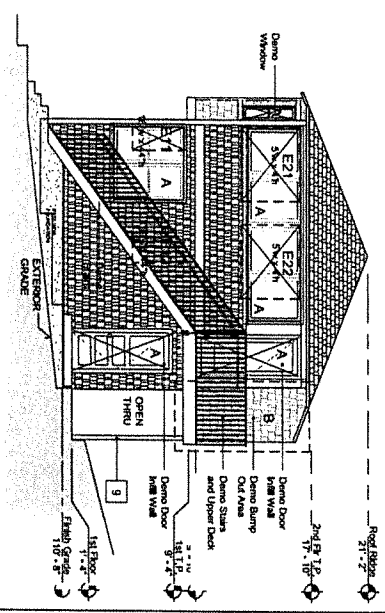
4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



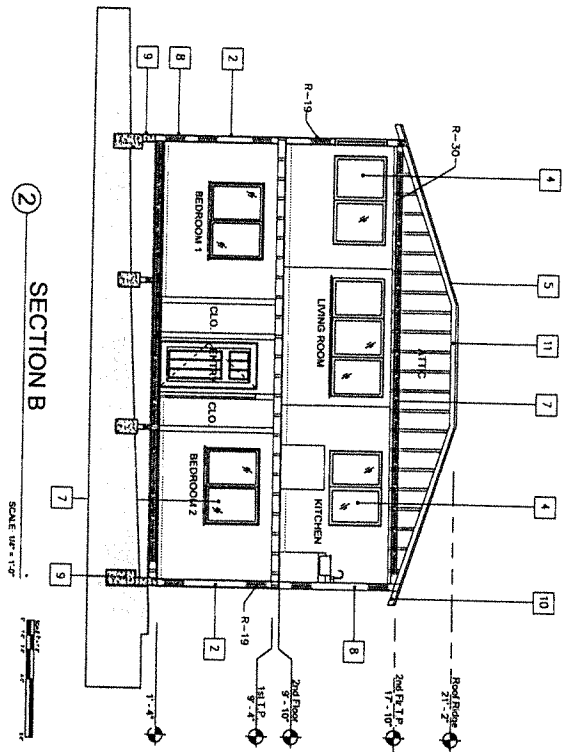
1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

BARBER HOUSE REMODEL

416 RICHARDSON STREET
 T. L. SINGLE FAMILY HOUSE

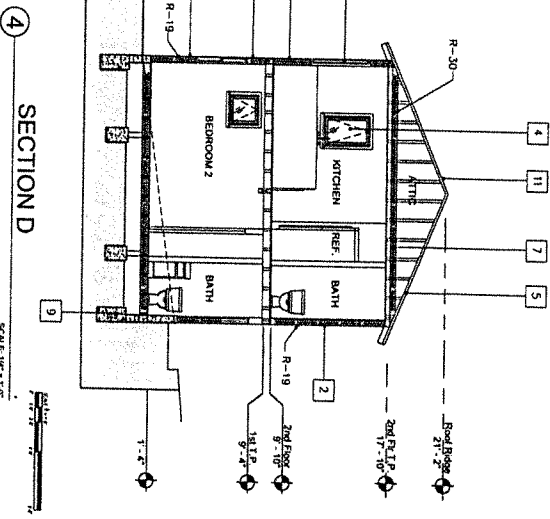
DATE	REVISION	OWNER / BUILDER
7/25/23	PLANNING DEPARTMENT 2	LEWIS BARBER TRUST
7/25/23	PLANNING DEPARTMENT 3	REBECCA COLES TRUST
		416 RICHARDSON STREET
		SAUSALITO, CA
		TPI - R14,000,1500

DATE	REVISION	OWNER / BUILDER
7/25/23	PLANNING DEPARTMENT 2	LEWIS BARBER TRUST
7/25/23	PLANNING DEPARTMENT 3	REBECCA COLES TRUST
		416 RICHARDSON STREET
		SAUSALITO, CA
		TPI - R14,000,1500



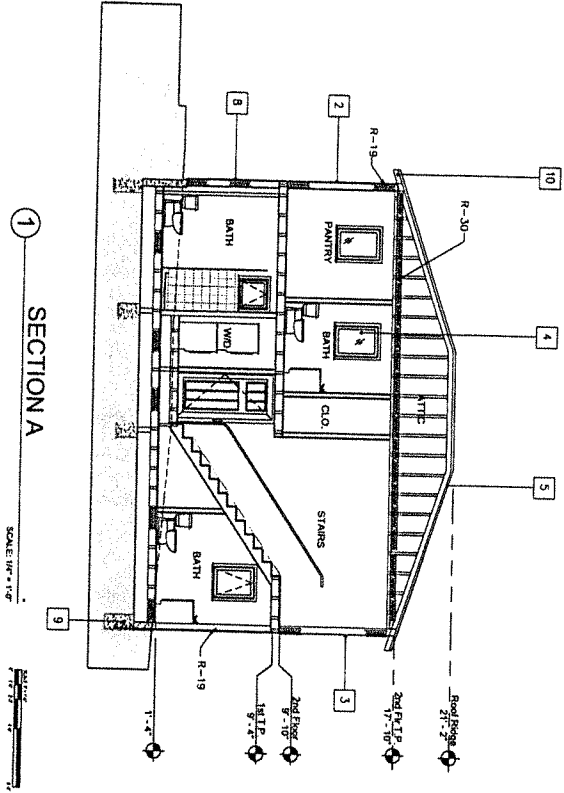
SECTION B

SCALE: 1/4" = 1'-0"



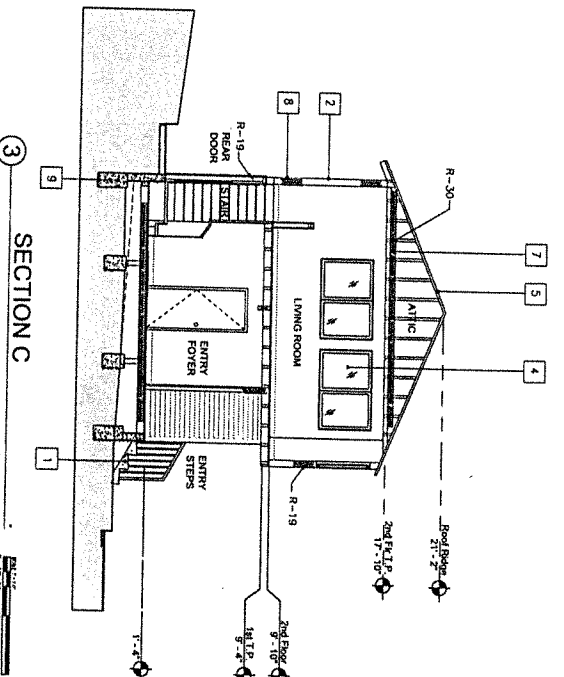
SECTION D

SCALE: 1/4" = 1'-0"



SECTION A

SCALE: 1/4" = 1'-0"



SECTION C

SCALE: 1/4" = 1'-0"

SECTION KEY NOTES:

- 1 NEW CONCRETE DRIVE STAIRS
- 2 NEW 1/2" x 8" PLANTED HARDWOOD BOND
- 3 6" x 8" BOND PLANK BOARD
- 4 NEW DUAL-PANE LOW-E THERMOGLASS SHADOWS
- 5 NEW ASPHALT ROOF SHINGLES - TYPICAL GUTTER
- 6 NEW THERMOGLASS EXTERIOR DOORS (PAINTED)
- 7 R-30 BATT INSULATION
- 8 R-12 BATT INSULATION
- 9 CONCRETE FOOTINGS (SEE STRUCTURAL DWGS)
- 10 EXISTING PROJECTED ROOF LINE
- 11 EXISTING 2x4 WOOD RAFTERS
- 12 EXISTING 2x4 WOOD WALLS
- 13 EXISTING EXPOSED CONCRETE FOUNDATION
- 14 NEW CONCRETE FOOTINGS
- 15 EXISTING GRADE - NO CHANGE
- 16 NEW EXTERIOR ROOF DRAINS AND DUTTERS

BARBER HOUSE REMODEL

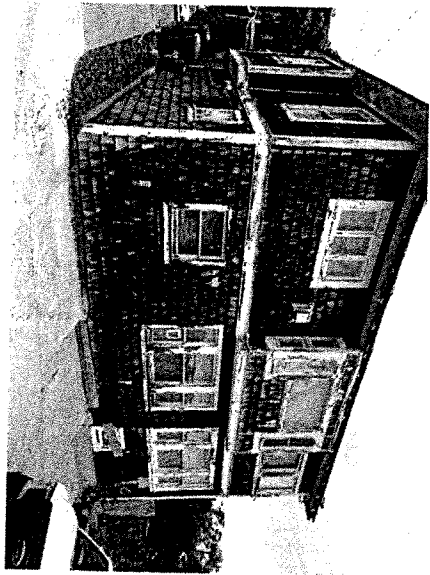
416 RICHARDSON STREET
T-1 - SINGI F. FAMILI Y HOUSE

DATE	REVISION
7/25/25	PLANNING DEPARTMENT 2
7/25/25	PLANNING DEPARTMENT 3

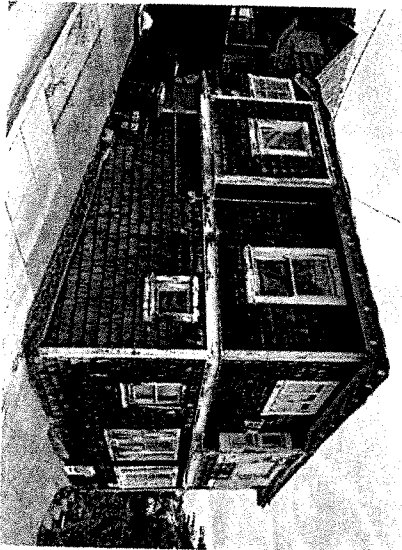
OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA



DATE	REVISION
7/25/25	PLANNING DEPARTMENT 2
7/25/25	PLANNING DEPARTMENT 3



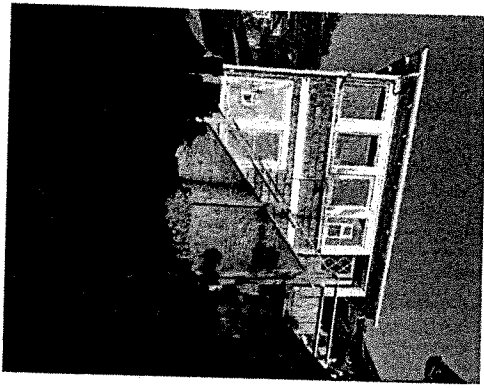
② SOUTH ELEVATION
DATE 07/25/25



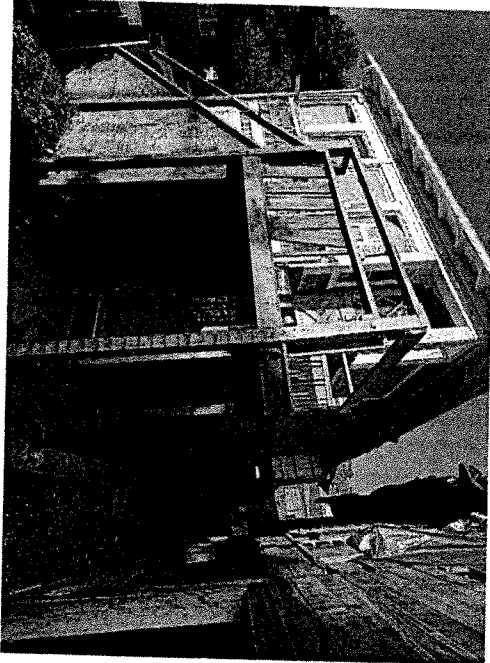
③ WEST ELEVATION
DATE 07/25/25



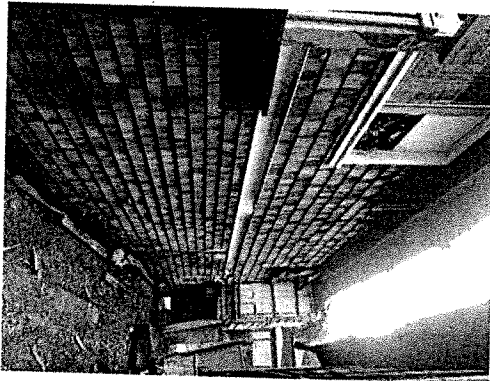
② SOUTH ELEVATION
DATE 07/25/25



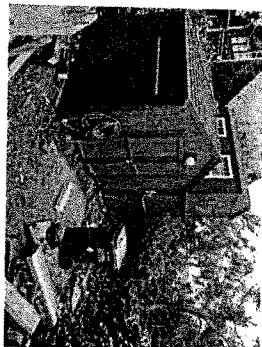
① EAST ELEVATION
DATE 07/25/25



① EAST ELEVATION
DATE 07/25/25



④ NORTH ELEVATION
DATE 07/25/25



EAST BACKYARD SHED (TO BE DEMO)

BARBER HOUSE REMODEL

416 RICHARDSON STREET
T. I. - SINGLE FAMILY HOUSE
SAUSALITO, CA 94965

DATE	REVISION
7/25/25	PLANNING DEPARTMENT 2
7/25/25	PLANNING DEPARTMENT 3

OWNER / BUILDER
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET
SAUSALITO, CA
TEL - 415.895.4555



DATE	REVISION
7/25/25	PLANNING DEPARTMENT 2
7/25/25	PLANNING DEPARTMENT 3

DOOR AND WINDOW SCHEDULE

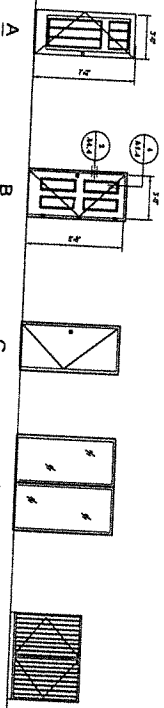
WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	THICKNESS	TYPE	FINISH
1	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
2	48 1/2"	48 1/2"	1-3/4"	DOOR	FIBERGLASS
3	48 1/2"	48 1/2"	1-3/4"	DOOR	FIBERGLASS
4	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
5	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
6	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
7	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
8	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
9	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
10	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
11	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
12	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
13	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
14	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
15	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
16	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
17	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
18	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
19	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
20	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
21	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
22	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS

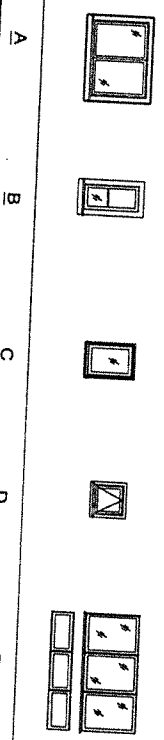
DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THICKNESS	TYPE	FINISH
1	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
2	48 1/2"	48 1/2"	1-3/4"	DOOR	FIBERGLASS
3	48 1/2"	48 1/2"	1-3/4"	DOOR	FIBERGLASS
4	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
5	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
6	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
7	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
8	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
9	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
10	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
11	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
12	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
13	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
14	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
15	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
16	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
17	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
18	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
19	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
20	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
21	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS
22	48 1/2"	48 1/2"	1-3/4"	AMING	FIBERGLASS

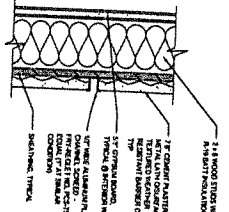
DOOR TYPE



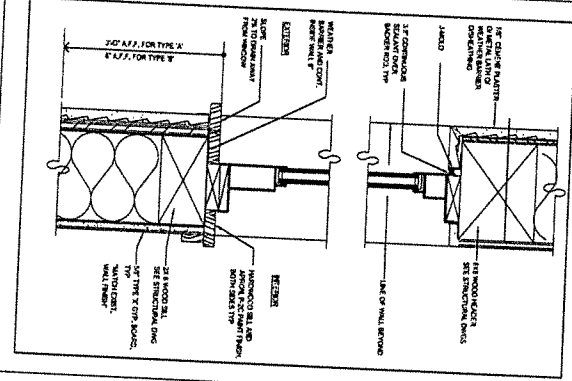
WINDOW TYPE



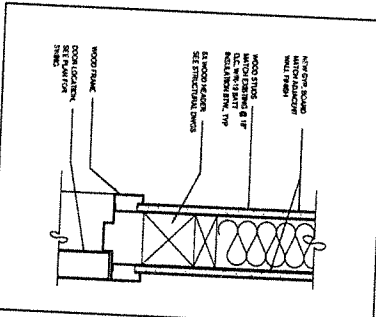
PLASTER CHANNEL REVEAL



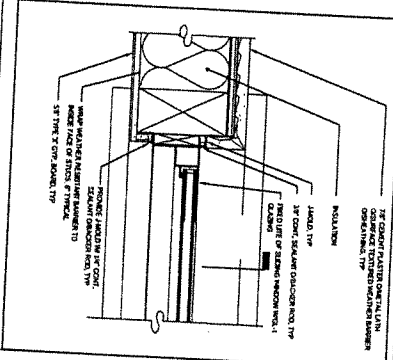
SCALE 3/4\"/>



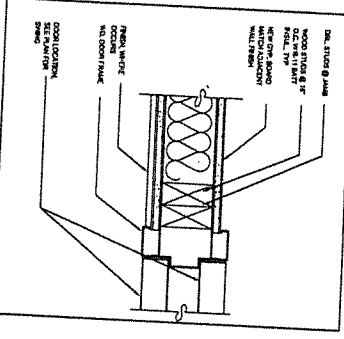
SCALE 3/4\"/>



SCALE 3/4\"/>



SCALE 3/4\"/>



SCALE 3/4\"/>

BARBER HOUSE REMODEL

416 RICHARDSON STREET
T I - SING F FAMI Y HOI ISF

DATE	REVISION	PLANNING DEPARTMENT
2/25/23	PLANNING DEPARTMENT 2	
2/25/23	PLANNING DEPARTMENT 3	

OWNER / BUILDOR
LEWIS BARBER TRUST
REBECCA COLES TRUST
416 RICHARDSON STREET



NO.	DATE	DESCRIPTION
1	2/25/23	DOOR AND WINDOW SCHEDULE
2	2/25/23	DOOR AND WINDOW SCHEDULE
3	2/25/23	DOOR AND WINDOW SCHEDULE
4	2/25/23	DOOR AND WINDOW SCHEDULE
5	2/25/23	DOOR AND WINDOW SCHEDULE
6	2/25/23	DOOR AND WINDOW SCHEDULE
7	2/25/23	DOOR AND WINDOW SCHEDULE
8	2/25/23	DOOR AND WINDOW SCHEDULE
9	2/25/23	DOOR AND WINDOW SCHEDULE
10	2/25/23	DOOR AND WINDOW SCHEDULE
11	2/25/23	DOOR AND WINDOW SCHEDULE
12	2/25/23	DOOR AND WINDOW SCHEDULE
13	2/25/23	DOOR AND WINDOW SCHEDULE
14	2/25/23	DOOR AND WINDOW SCHEDULE
15	2/25/23	DOOR AND WINDOW SCHEDULE
16	2/25/23	DOOR AND WINDOW SCHEDULE
17	2/25/23	DOOR AND WINDOW SCHEDULE
18	2/25/23	DOOR AND WINDOW SCHEDULE
19	2/25/23	DOOR AND WINDOW SCHEDULE
20	2/25/23	DOOR AND WINDOW SCHEDULE
21	2/25/23	DOOR AND WINDOW SCHEDULE
22	2/25/23	DOOR AND WINDOW SCHEDULE